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39 Chaplin Road, Easton, Bristol, BS5 0JT

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£335,000

****CHAIN FREE - POPULAR ROAD**** This period terrace is a blank canvas for the new buyer with good bones sitting on a popular road running through the middle of Easton leading to all local amenities on St Marks & Stapleton Road as well as easy access to Central Bristol. Internally boasting two reception rooms and a fully kitted out kitchen leading to the generous garden. Upstairs is a huge bathroom alongside two double bedrooms and loft access. Please come along and see how easy it would be to add value to this live-able home.

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GROUND FLOOR

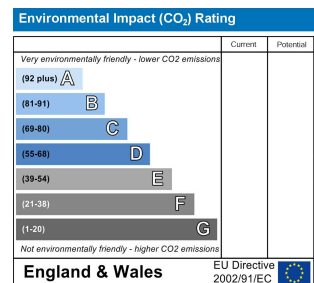
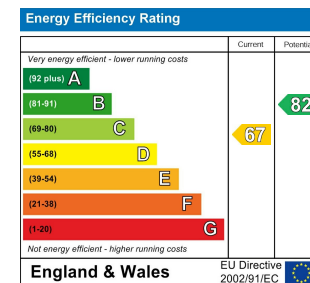


1ST FLOOR



2 BED TERRACE

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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FRONT DOOR

Wood door opening into internal porch with wall mounted gas meter and door into

ENTRANCE HALL

Radiator, wall mounted fuse box, stairs to first floor, under stairs storage space and doors to

LOUNGE

14'7" x 11'4"
Double glazed bay window to front, radiator, fireplace

DINING ROOM

12'3" x 8'10"
Double glazed window to rear, radiator, fireplace

KITCHEN

9'11" x 7'8"
Wall and base units with work surface over, sink and drainer, tiled splash backs, space for washing machine, dishwasher, oven and fridge freezer, built in storage cupboard under stairs, radiator, double glazed window to side and wood door to garden

STAIRS

Leading to first floor landing with storage space and access to loft, doors to

BATHROOM

10'0" x 7'10"
Three piece white suite comprising wc, wash hand basin, bath with shower over, tiled splash backs, radiator, obscure window to rear

BEDROOM ONE

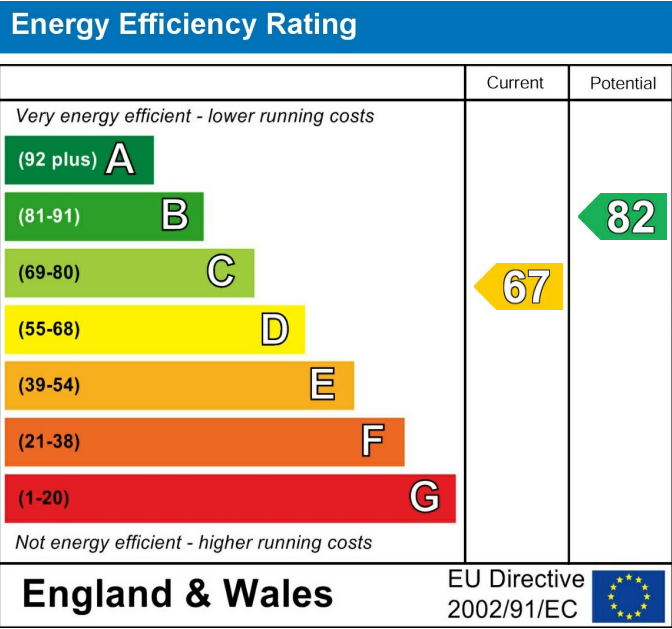
14'7" x 12'7"
Window to front, radiator

BEDROOM TWO

12'4" x 9'3"
Double glazed window to rear, radiator, cupboard with shelving housing Vaillant combination boiler for heating

GARDEN

Hard standing low maintenance space with potential.
Rear of the property has got external insulation



These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.









